

# Bulletin: Sloped Lots

## Requirements



Bulletin # 09-08  
Updated: July 3, 2020  
Created: Oct 26, 2009

*This information is provided for your convenience only and it should be clearly understood that you must satisfy all applicable Zoning Regulations and ensure that the premises conforms to the B.C. Building Code and all Bylaws/Regulations of the City of Kelowna.*

### Purpose

To inform staff, developers, builders, subcontractors, designers and consultants about the requirement to provide cross-sections for developments on sloped lots within the City of Kelowna.

### Background

Due to the increased amount of construction in areas with sloping land it has been deemed necessary that cross-sections be provided for all lots with slopes. This requirement has been in practice for hillside developments for approximately one year.

The purpose of these cross-sections is to draw the attention of the designer, builder, owner, and City staff to ensure the consistent implementation of the subdivision design requirements. These requirements are to be verified at the building permit application stage, implemented at the construction stage, and completed prior to issuance of occupancy.

Upon request from developers and residents of various neighborhoods within the City of Kelowna construction on sloped properties will now require cross-section drawings as shown on the City of Kelowna Upslope and Downslope Hillside Development handouts (see attached). These cross-sections should be developed according to the approved subdivision documents i.e. geotechnical report/recommendations, lot grading/drainage plans, and covenants.

#### Drawings are to include;

Cross-section drawings through the lot in each direction (i.e. front to back & side to side) showing

- existing lot grade and proposed lot grade
- building location (re elevations)
- minimum basement elevation(s) & proposed top of foundation elevation(s)

Site plan drawings showing

- direction of runoff and location of drainage swales
- location of drywells (if applicable)
- building layout/location including setbacks
- applicable covenants (i.e. show no disturb and no build areas), easements and right-of-ways
- existing and proposed retaining wall locations
- proposed cut & fill locations

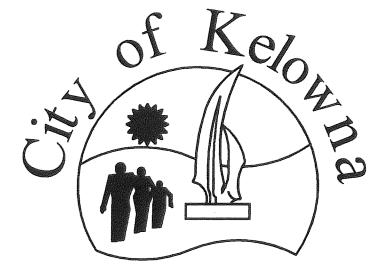
These cross-sections are to be as per approved subdivision documents i.e. geotechnical report/recommendations, lot grading/drainage plans, and covenants, easements and right of ways.

### Implementation

These cross-sections are required for all projects on all lots with slopes and are in effect on building permits applied for on or after January 4, 2010. Therefore, it is the responsibility of the applicant to ensure that these drawings are submitted as part of the building permit application and to the satisfaction of the Building & Permitting Branch.

**Building and Permitting**  
1435 Water Street  
Kelowna, BC V1Y 1J4  
TEL 250-469-8960  
FAX 250-862-3314  
developmentsservicesinfo@kelowna.ca

# UPSLOPE Hillside Development

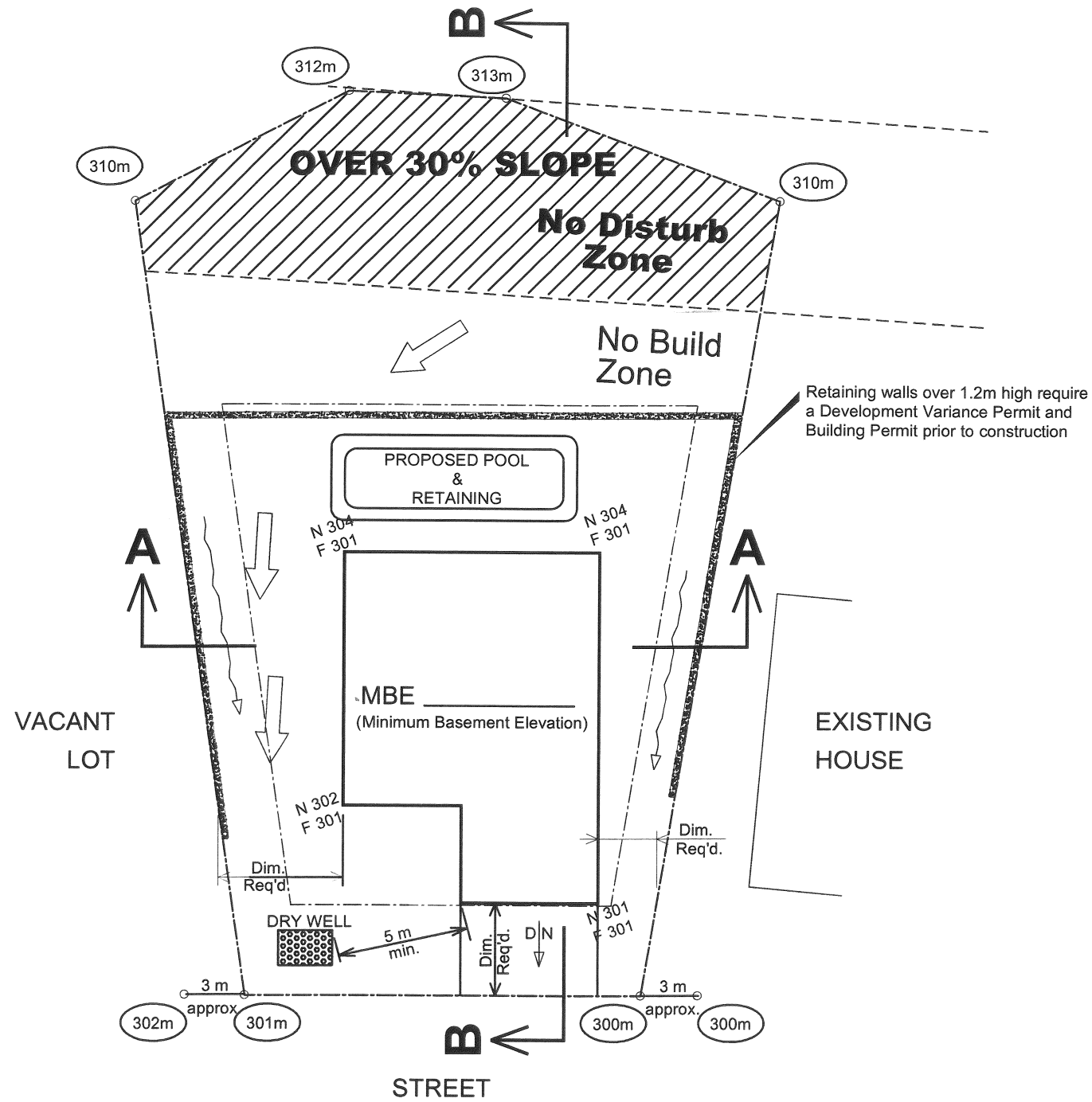


- ### Legend
- If applicable, please show the following details on plan view & cross section drawings.
- Natural Grade @ House
  - Finished Grade @ House
  - MBE** Minimum Basement Elevation
  - Typical Builder Swale
  - Typical Lot Drainage Direction
  - Required Zoning Setbacks
  - Non Disturb Zone or over 30% slope
  - No Structure allowed in/on/over Easement or Statutory Right-of-Way (S.R.O.W.)
  - No Deposit/Removal of soil is allowed on Easement or on Statutory Right-of-Way (S.R.O.W.)
  - Drywell

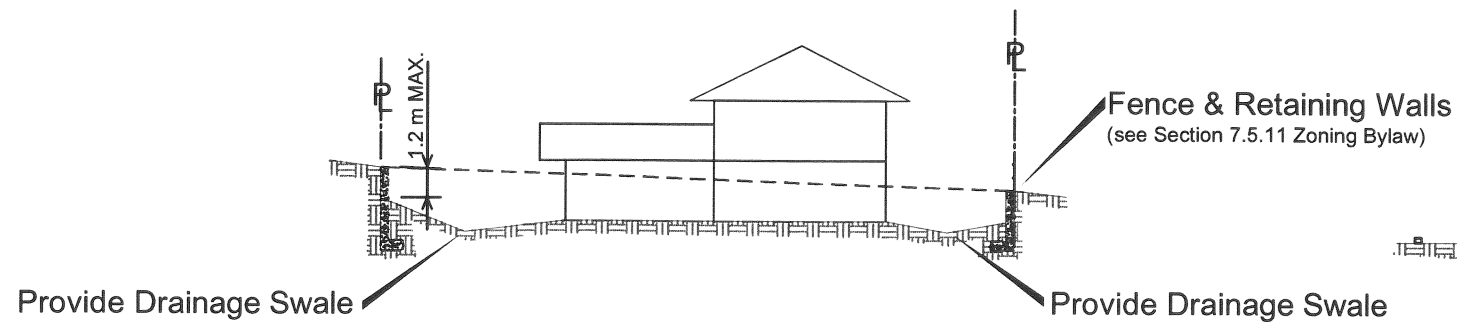
**NOTE:** Refer to Subdivision lot grading plan for elevations, drainage requirements and covenant and/or easement area requirements.

SAMPLE

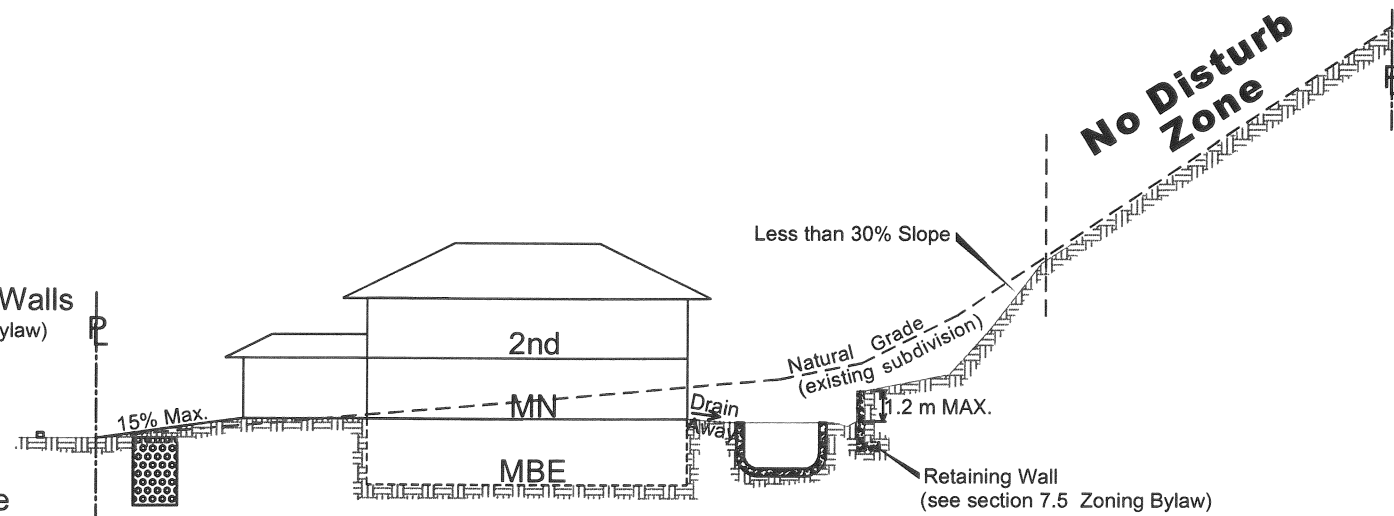
This guide has been prepared to provide convenient information only. It is neither a bylaw nor a legal document. If any contradiction between this guide and the relevant Municipal Bylaws and/or applicable codes is found, such bylaws and/or codes shall be the legal authority.



## Plan View



## Section A-A

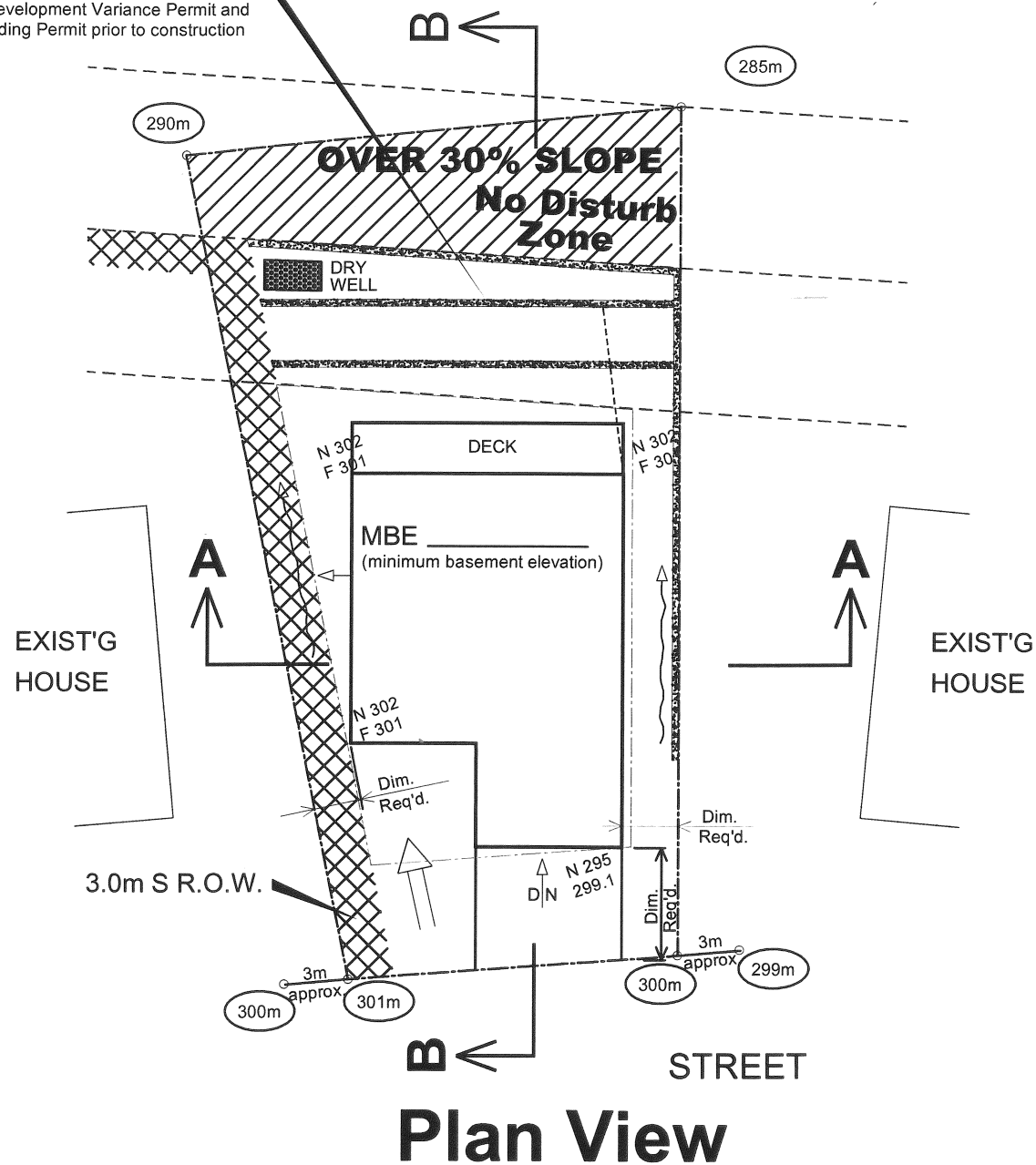


## Section B-B

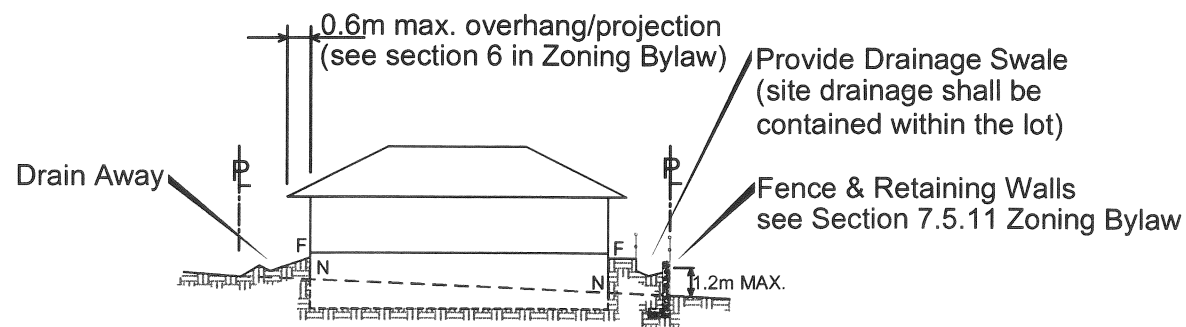
REV. Nov. 21/06

Design: M. Bayat  
Drawn: R. Oliver

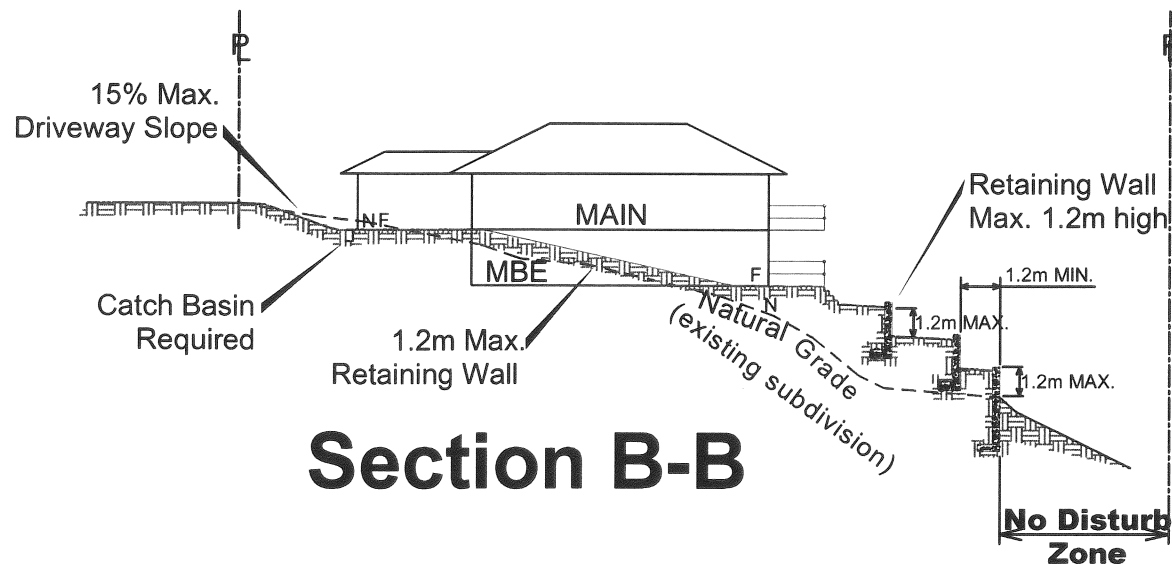
Retaining walls over 1.2m high require a Development Variance Permit and Building Permit prior to construction



**Plan View**



**Section A-A**



**Section B-B**

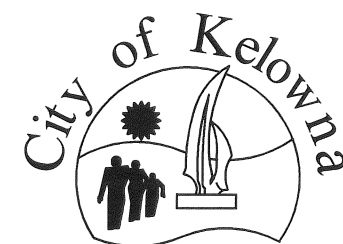
**Legend**

If applicable, please show the following details on plan view & cross section drawings.

- N 302 Natural Grade @ House
- F 301 Finished Grade @ House
- MBE Minimum Basement Elevation
- ← Typical Builder Swale
- ← Typical Lot Drainage Direction
- Required Zoning Setbacks
- ▨ Non Disturb Zone or over 30% slope
- ▩ No Structure allowed in/on/over Easement or Statutory Right-of-Way (S.R.O.W.)
- No Deposit/Removal of soil is allowed on Easement or on Statutory Right-of-Way (S.R.O.W.)
- Drywell

**NOTE:** Refer to Subdivision lot grading plan for elevations, drainage requirements and covenant and/or easement area requirements.

**DOWNSLOPE  
Hillside  
Development**



**S A M P L E**

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