

Bulletin: Sloped Lots



Bulletin # 09-08
Updated: Sept. 20, 2022
Created: Oct. 6, 2009

This information is provided for your convenience only and it should be clearly understood that you must satisfy all applicable Zoning Regulations and ensure that the premises conforms to the B.C. Building Code and all Bylaws/Regulations of the City of Kelowna.

Requirements

To protect public safety, the City of Kelowna may ask for detailed drawings relating to construction on slopes. The purpose of these drawings and cross-sections is to draw the attention of the designer, builder, owner, and City staff to potential landslide or erosion risks. Drawings also help to clearly communicate the design and ensure the consistent implementation of bylaw requirements.

These requirements are to be verified at the building permit application stage, implemented at the construction stage, and completed prior to issuance of occupancy.

Drawings are to include:

- Cross-section drawings through the lot in each direction (i.e. front to back & side to side) showing
 - existing lot grade and proposed lot grade
 - building location (re elevations)
 - minimum basement elevation(s) & proposed top of foundation elevation(s)
- Site plan drawings showing
 - direction of runoff and location of drainage swales
 - location of roof and perimeter drain storm system connection
 - building layout/location including setbacks
 - applicable covenants (i.e. show no disturb and no build areas), easements and right-of-ways
 - existing and proposed retaining wall locations and their heights
 - proposed cut & fill locations

These cross-sections are required for all projects on lots with slopes and are to be as per approved subdivision documents i.e. geotechnical report/recommendations, lot grading/drainage plans, and covenants, easements and right of ways.

It is the responsibility of the applicant to ensure these drawings are submitted with their permit application.

Development Planning
1435 Water Street
Kelowna, BC V1Y 1J4
TEL 250-469-8626
FAX 250-862-3320
planninginfo@kelowna.ca

UPSLOPE Hillside Development

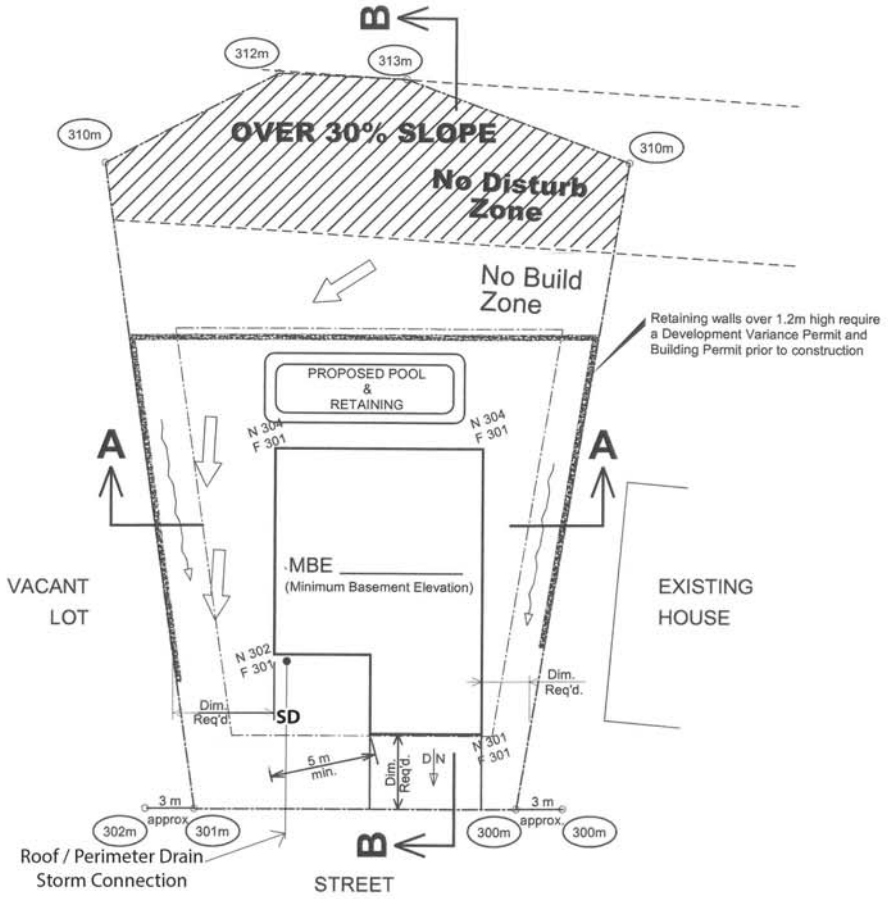


- ### Legend
- If applicable, please show the following details on plan view & cross section drawings.
- - - N 302 Natural Grade @ House
 - - - F 301 Finished Grade @ House
 - MBE Minimum Basement Elevation
 - ↙ Typical Builder Swale
 - ← Typical Lot Drainage Direction
 - - - Required Zoning Setbacks
 - ▨ Non Disturb Zone or over 30% slope
 - ▩ No Structure allowed in/on/over Easement or Statutory Right-of-Way (S.R.O.W.)
 - No Deposit/Removal of soil is allowed on Easement or on Statutory Right-of-Way (S.R.O.W.)
 - SD- Storm Drain

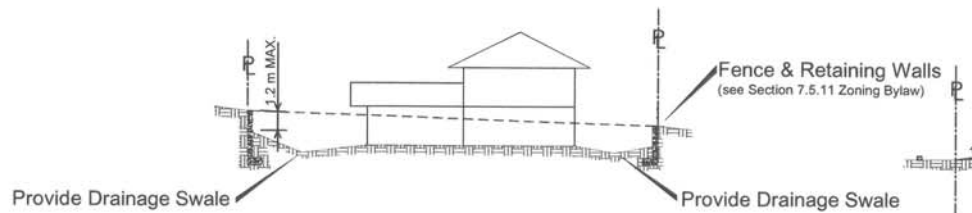
NOTE: Refer to Subdivision lot grading plan for elevations, drainage requirements and covenant and/or easement area requirements.

This guide has been prepared to provide convenient information only. It is neither a bylaw nor a legal document. If any contradiction between this guide and the relevant Municipal Bylaws and/or applicable codes is found, such bylaws and/or codes shall be the legal authority.

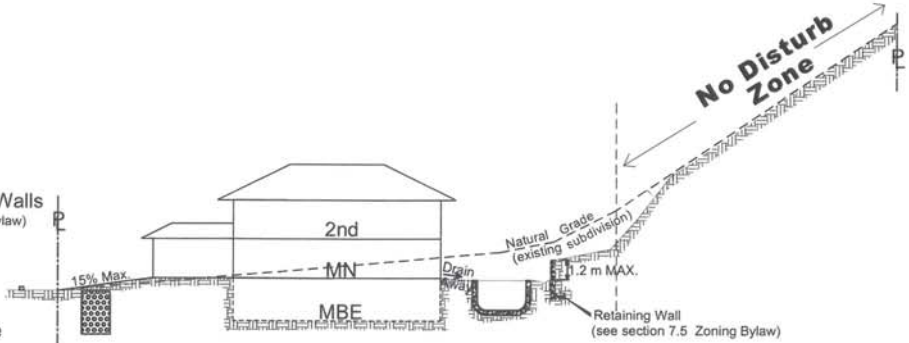
S A M P L E



Plan View



Section A-A

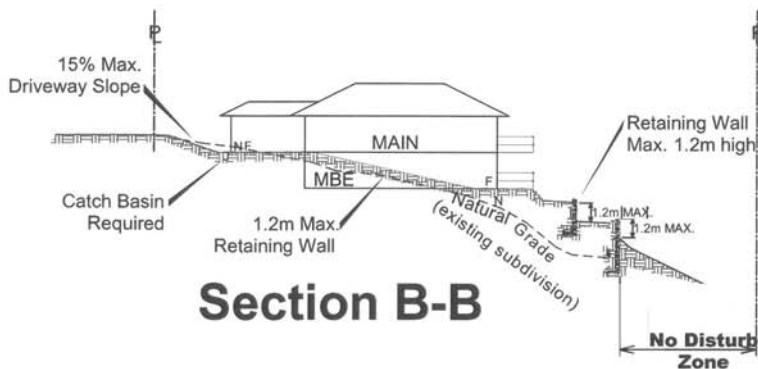
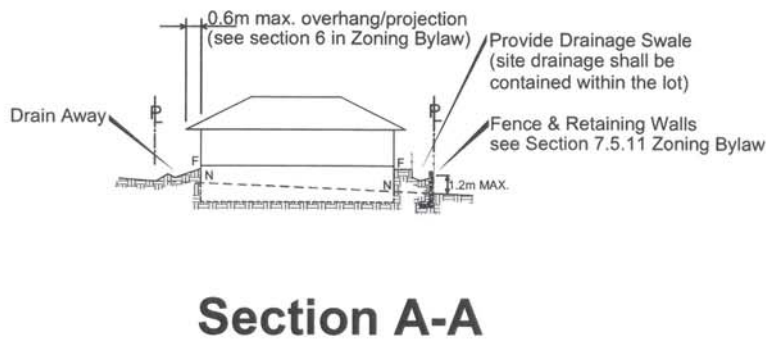
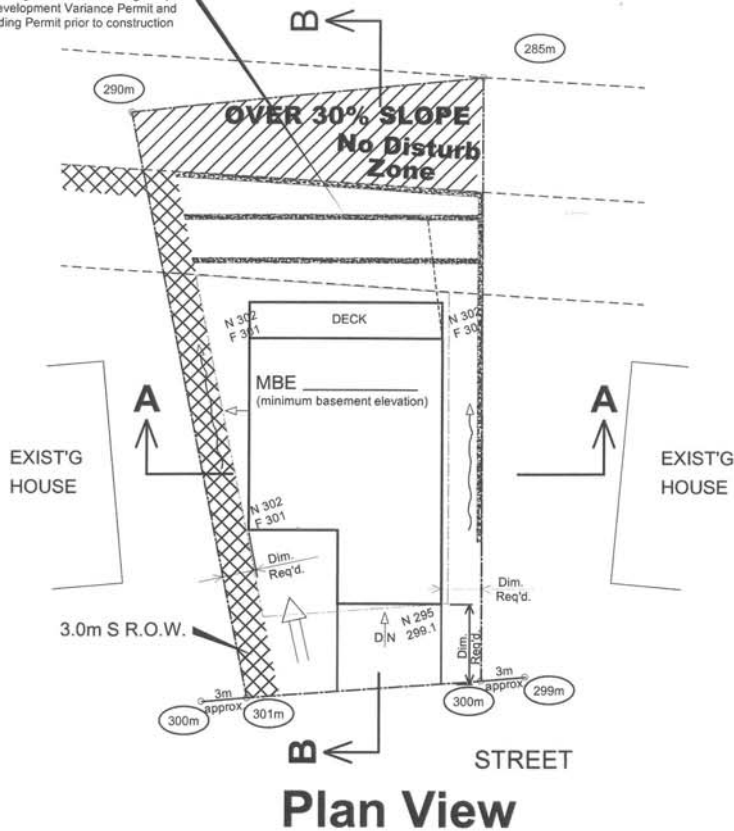


Section B-B

REV. Nov. 21/06

Design: M. Bayat
Drawn: R. Oliver

Retaining walls over 1.2m high require a Development Variance Permit and Building Permit prior to construction



Legend

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- SD— Storm Drain

NOTE: Refer to Subdivision lot grading plan for elevations, drainage requirements and covenant and/or easement area requirements.

Downslope Hillside Development



SAMPLE

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