

Bulletin: Farm Residential Footprint



Bulletin # 18-01
Updated: Sept. 20, 2022
Created: May 1, 2018

This bulletin is for informational purposes only. Please be sure to consult the relevant City of Kelowna bylaw.

Purpose

To reference the terms and conditions of a Farm Residential Footprint covenant, and to determine when it is required.

Which application type applies to you?

On agricultural land, a Farm Residential Footprint must be established and a covenant registered on title before issuance of a Building Permit for a single detached house or accessory structure.

Depending on the proposed development, different application processes may apply, as generally outlined in the table below.

Registered Document (Farm Residential Footprint Covenant)	Farm Protection Development Permit
<ul style="list-style-type: none">• Construction of a new, or addition to an existing, single detached house or accessory structure on agricultural land	<ul style="list-style-type: none">• Development or subdivision directly adjacent to agricultural land• Development or subdivision on agricultural land except:<ul style="list-style-type: none">• Agricultural structures used exclusively for agriculture• Single detached house or accessory structure within a registered Footprint

Note: Agricultural land is as defined in the [Official Community Plan \(OCP\)](#). Refer to Chapter 22 of the OCP for more details on Farm Protection DP requirements.

What is a Farm Residential Footprint?

The purpose of a Farm Residential Footprint is to maximize farming potential in agricultural areas, while limiting the impact of residential uses on farming and agricultural land.

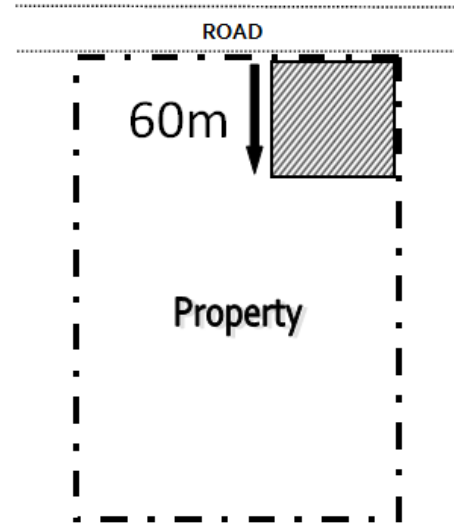
All residential uses must be contained within the Farm Residential Footprint. This includes a house, home based businesses, accessory buildings and garages, pools, landscaping and outdoor living areas, septic systems, and paved driveways.

Development Planning
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Size & Location:

- Maximum area: 2,000 m² (0.2 ha)
- Locate the Footprint to maximize viable agricultural land
 - Typically close to the road and along property lines, extending a maximum of 60 m back from the front lot line

A Farm Residential Footprint Covenant establishes the area where residential uses are allowed. The covenant requires a surveyed reference plan and legal covenant documents to be registered on title.



Application Process

1. Pre-Application Meeting

The process starts with a Pre-Application meeting with a Planner to review the proposal. For the Planner to provide feedback, you must provide a Site Plan with dimensions in metric showing:

- ✓ Any existing structures
- ✓ Any proposed structures
- ✓ Proposed Footprint location and area

2. Confirmation & Pre-Application Work

Based on the Pre-Application meeting, a Planner will work with you to determine an acceptable Footprint. Once that is confirmed, we will provide additional direction and terms for the covenant. You would then involve a surveyor to prepare the reference plan and a lawyer to prepare the covenant.

3. Registered Document Application

Following completion of the above steps, you can submit a Registered Document application package that must include:

- ✓ Subdivision Application Form
- ✓ Current State of Title Search
- ✓ Owner's Authorization Form
- ✓ Covenant approval documents, provided from applicant's lawyer
- ✓ Survey Plan Certification, created by a Professional Surveyor
- ✓ Application Fee, payable to the City of Kelowna

4. Registration

Once the covenant is registered on title by your lawyer and we have a copy of the registered covenant and new title, you can submit a Building Permit application for the proposed development.